



Office: (888) 927-7865

Fax: (813) 200-8448

Contact@customreserves.com

5470 E Busch Blvd., Unit 171

Tampa, FL 33617

BAYOU PASS VILLAGE
PROPERTY OWNERS' ASSOCIATION, INC.
FULL RESERVE STUDY REPORT



For 30-Year Projection Period: FY 2023 through FY 2053

This report contains intellectual property developed by Custom Reserves, LLC specific to this engagement and cannot be reproduced or distributed to those who conduct reserve studies without the written consent of Custom Reserves, LLC. See the proposal for details concerning the use of this report.

Table of Contents

Table of Contents	2
Property Overview	4
Executive Summary	5
Financial Analysis	6
Property Component Definitions	7
Property Component Model	8
Reserve Expenditures	Appendix A
Cash Flow Funding Plan	Appendix B
Condition Assessment	10
Blossom Bayou Clubhouse Components	10
1. Exercise Equipment	10
2. Interior Renovation, Complete.....	10
3. Interior Renovations, Partial	11
4. Paint Finish Applications.....	11
5. Rest Rooms, Renovations.....	12
6. Roofs, Metal	13
7. Security System	13
8. Split Systems.....	14
9. Windows and Doors	14
Blossom Bayou Pool Components	14
10. Deck, Concrete Coatings	14
11. Fences, Aluminum.....	15
12. Fences, Vinyl.....	15
13. Light Poles	15
14. Pool Finishes.....	16
15. Water Features.....	16
Dorothy Duke Clubhouse Components	17
16. Furniture.....	17
17. Interior Renovation, Complete	18
18. Interior Renovations, Partial	18
19. Rest Rooms, Renovations.....	19
20. Roofs, Metal	19
21. Split Systems	20
22. Walls, Vinyl Siding	21
23. Windows and Doors.....	21
Dorothy Duke Pool Components	21
24. Deck, Pavers	21
25. Fences, Aluminum.....	22
26. Light Poles	22
27. Pool Finish	23
28. Water Feature	23
Peaceful Palm Components	24

29.	Deck, Pavers	24
30.	Fences, Aluminum.....	24
31.	Light Poles	25
32.	Pool Finish	25
33.	Rest Rooms, Renovations.....	26
34.	Roof, Metal.....	26
35.	Split System	26
36.	Windows and Doors.....	27
Property Site Components.....		27
37.	Asphalt Pavement, Preservation.....	27
38.	Asphalt Pavement, Repaving	28
39.	Concrete Flatwork.....	29
40.	Basketball Court, Color Coat	30
41.	Golf Cart	31
42.	Irrigation System, Pump Stations.....	31
43.	Mailbox Stations.....	32
44.	Paint Finishes, Exterior, Dorothy Duke/Peaceful Palm Buildings	33
45.	Pavers	33
46.	Perimeter Walls, Paint Finish Applications	34
47.	Playground Equipment.....	34
48.	Pond Fountain	35
49.	Ponds, Erosion Control.....	36
50.	Signage	38
51.	Stormwater System.....	39
Condition Model		41
Expenditure Chart and Funding Graph.....		42
Terms and Definitions.....		43
Disclosures and Limitations.....		45
Inspection and Report Credentials.....		45

Property Overview



PHASES 1 THROUGH 3



PHASES 4 THROUGH 6



Ruskin, FL

Executive Summary

Custom Reserves, LLC conducted a site visit on April 25, 2023. We identified 51 reserve components comprising 56 line items that require reserve funding during the noninvasive, visual inspection of the community. Supplemental information to the physical inspection typically includes the following sources:

1. Association board members, management and staff
2. Client's vendors
3. Declaration
4. Maintenance records of the reserve components where available
5. Project plans where available

Bayou Pass Village Property Owners' Association, Inc. (Bayou Pass Village) is a planned unit development located in Ruskin, FL and is responsible for the common elements shared by 660 owners. Bayou Pass Village was established in 2005. The development contains Clubhouse, Pool, and Property Site components.

A Reserve Study comprises two parts:

Physical Analysis	Financial Analysis
<ul style="list-style-type: none">• Component Inventory• Condition Assessment• Estimated Useful Life• Remaining Useful Life• Replacement Cost	<ul style="list-style-type: none">• Fund Status• Funding Plan

The intention of this Reserve Study is to forecast the Association's ability to repair or replace major components as they wear out in future years. This Reserve Study complies with or exceeds all applicable statutes and national standards. Reserve Studies are a guide and should be used for budgetary purposes. Actual expenditures and times of replacements can and/or will vary.

Reference #: 423.23

Inspection and Report by:

Paul Grifoni, PRA, RS

Financial Analysis

We include the Cash Flow, or pooling method to project and illustrate the reserve funding plan as depicted in **Appendix B**. The unaudited cash status of the Association's pooled reserve fund, as of January 1, 2023, as reported by Management and the Board is \$296,541. Bayou Pass Village budgeted \$92,100 for combined reserves contributions in FY¹ 2023. A reserve contribution of \$103,000 would be required in 2024 to adequately fund reserves based on this update analysis. The Association can budget inflationary increases each year until the next Reserve Study Update. In addition, we consider the age and overall condition of the community in the accumulated year ending reserve balance of \$583,655.

External market factors incorporated in this Reserve Study are an inflation rate of 3.0% based on the Consumer Price Index published by the Bureau of Labor Statistics and an interest rate of 3.0%. Most community association bylaws provide that Association funds shall be held in a bank, with FDIC or similar insurance to cover all funds.

The actual timing of the events depicted may not occur exactly as projected. Internal changes such as deferred or accelerated projects, and external changes such as interest and inflation rates, are likely. Updates to the Reserve Study will incorporate these changes. To ensure equity in the adopted funding plan, ongoing annual Board reviews and an update of this Reserve Study with an on-site visit are recommended in two- to three-years depending on the complexity of the community, and changes in external and internal factors. It is recommended by the American Institute of Certified Public Accountants (AICPA) that your Reserve Study be updated annually.

¹ FY 2023 Begins January 1, 2023, and Ends December 31, 2023.

Property Component Definitions

The analysis began by separating the property components into specific areas of responsibility for replacement and repair. These classes of property are as follows:

1. **Reserve Components** are defined as follows:
 - Association responsibility
 - Limited useful life expectancies
 - Predictable remaining useful life expectancies
 - Replacement cost above a minimum threshold
2. **Operating Budget Components** are defined as follows:
 - Common area components historically funded through operating funds rather than reserve funds
 - Common area components whose replacement or repair costs fall below a specific dollar amount
3. **Long-Lived Components** are defined as follows:
 - Common area components without a predictable remaining useful life
 - Common area components with a remaining useful life beyond the 30-year scope of this reserve study
4. **Owner Components** are defined as follows:
 - Components that are not the responsibility of the Association to maintain, repair or replace
5. **Other Components** are defined as follows:
 - Components that are neither the responsibility of the Association nor the Owner to maintain, repair or replace

Property Component Model

CATEGORY	COMPONENT	COMMON COMPONENTS (X)			REMAINING COMPONENTS (O)	
		RESERVES	OPERATING	LONG-LIVED	OWNER	OTHER
	Arbors, Wood		X			
Property Site	Asphalt Pavement, Preservation	X				
Property Site	Asphalt Pavement, Repaving, Blossom Bayou	X				
Property Site	Asphalt Pavement, Repaving, Peaceful Palm	X				
	Basketball Backstops		X			
Property Site	Basketball Court, Color Coat	X				
	Bollards, Walkway		X			
	Café Equipment, Blossom Bayou					O
Property Site	Concrete Flatwork, Partial	X				
Blossom Bayou Pool	Deck, Concrete Coatings	X				
Dorothy Duke Pool	Deck, Pavers, Dorothy Duke	X				
Peaceful Palm	Deck, Pavers, Peaceful Palm Cabana	X				
Blossom Bayou Clubhouse	Exercise Equipment	X				
	Expenses Less Than \$5,000		X			
	Fence, Phase 1 Dumpster Enclosure		X			
	Fence, Phase 1 South Perimeter					O
Blossom Bayou Pool	Fences, Aluminum, Blossom Bayou	X				
Dorothy Duke Pool	Fences, Aluminum, Dorothy Duke	X				
Peaceful Palm	Fences, Aluminum, Peaceful Palm Cabana	X				
Blossom Bayou Pool	Fences, Vinyl	X				
	Foundation(s)			X		
Dorothy Duke Clubhouse	Furniture, Phased	X				
Property Site	Golf Cart	X				
	Homes and Lots					O
	Infrequent Replacements		X			
Blossom Bayou Clubhouse	Interior Renovation, Complete	X				
Dorothy Duke Clubhouse	Interior Renovation, Complete, Dorothy Duke	X				
Dorothy Duke Clubhouse	Interior Renovation, Partial, Dorothy Duke	X				
Blossom Bayou Clubhouse	Interior Renovations, Partial	X				
Property Site	Irrigation System, Pump Stations, Phased	X				
	Landscape		X			
	Lift Station (Municipality)					O
Blossom Bayou Pool	Light Poles, Blossom Bayou	X				
Dorothy Duke Pool	Light Poles, Dorothy Duke	X				
Peaceful Palm	Light Poles, Peaceful Palm Cabana	X				
Property Site	Mailbox Stations	X				
	Mailboxes, Phases 3 and 4					O
	Office Furniture		X			
	Other Repairs Normally Funded Through the Operating Budget		X			
Blossom Bayou Clubhouse	Paint Finish Applications	X				
Property Site	Paint Finishes, Exterior, Dorothy Duke/Peaceful Palm Buildings	X				
Property Site	Pavers, Sealer Applications	X				
Property Site	Pavers, Street, Replacement	X				
Property Site	Pavers, Walkways, Replacement	X				
Property Site	Perimeter Walls, Paint Finish Applications	X				
	Picnic Tables		X			
Property Site	Playground Equipment, Blossom Bayou	X				
Property Site	Playground Equipment, Dorothy Duke	X				
Property Site	Playground Equipment, Peaceful Palm Cabana	X				

CustomReserves

CATEGORY	COMPONENT	COMMON COMPONENTS (X)			REMAINING COMPONENTS (O)	
		RESERVES	OPERATING	LONG-LIVED	OWNER	OTHER
Property Site	Pond Fountain	X				
Property Site	Ponds, Erosion Control, Partial	X				
Dorothy Duke Pool	Pool Finish, Dorothy Duke	X				
Peaceful Palm	Pool Finish, Peaceful Palm Cabana	X				
Blossom Bayou Pool	Pool Finishes, Blossom Bayou	X				
	Pool Furniture		X			
	Pool Mechanical Equipment		X			
Blossom Bayou Clubhouse	Rest Rooms, Renovations	X				
Dorothy Duke Clubhouse	Rest Rooms, Renovations, Dorothy Duke	X				
Property Site	Rest Rooms, Renovations, Peaceful Palm	X				
Peaceful Palm	Roof, Metal, Peaceful Palm Cabana	X				
Blossom Bayou Clubhouse	Roofs, Metal	X				
Dorothy Duke Clubhouse	Roofs, Metal, Dorothy Duke	X				
Blossom Bayou Clubhouse	Security System	X				
Property Site	Signage, Phased	X				
	Soffits, Vinyl		X			
Property Site	Split System, Peaceful Palm	X				
Blossom Bayou Clubhouse	Split Systems	X				
Dorothy Duke Clubhouse	Split Systems, Dorothy Duke	X				
Property Site	Stormwater System, Partial	X				
	Streets (County)					O
	Structural Frame(s)			X		
	Subsurface Utilities, Dorothy Duke Clubhouse and Peaceful Palm Cabana		X			
Dorothy Duke Clubhouse	Walls, Vinyl Siding	X				
Dorothy Duke Pool	Water Feature	X				
Blossom Bayou Pool	Water Features	X				
	Water Heaters		X			
Dorothy Duke Clubhouse	Windows and Doors, Dorothy Duke	X				
Blossom Bayou Clubhouse	Windows and Doors, Partial	X				
Peaceful Palm	Windows and Doors, Peaceful Palm Cabana	X				



Reserve Expenditures

Bayou Pass Village
Property Owners' Association, Inc.

Projected Inflation Rate 3.0%

Line Item	Reserve Components	Total	Per Phase	Unit of Measurement	1st Year of Replacement	Useful Life Years	Age (Year)	Remaining Life Years	2023 Unit Cost	2023 Cost of Replacement	2023 Cost of Replacement	Total 30 Year Future Costs of Replacement	Fiscal Year 2023	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9												
		Quantity	Quantity							per Phase	per Total			2024	2025	2026	2027	2028	2029	2030	2031	2032												
Blossom Bayou Clubhouse Components																																		
1	Exercise Equipment	1	1	Allowance	2031	to 15	2019	8	\$13,000.00	\$13,000	\$13,000	\$39,947										\$16,468												
2	Interior Renovation, Complete	3,200	3,200	Square Feet	2043	to 25	2019	20	\$6.50	\$20,800	\$20,800	\$37,567																						
3	Interior Renovations, Partial	3,200	3,200	Square Feet	2031	10 to 15	2019	8	\$4.00	\$12,800	\$12,800	\$16,215										\$16,215												
4	Paint Finish Applications	13,000	13,000	Square Feet	2024	5 to 7	2019	1	\$1.00	\$13,000	\$13,000	\$105,656		\$13,390								\$16,468												
5	Rest Rooms, Renovations	4	4	Each	2032	15 to 20	2019	9	\$8,000.00	\$32,000	\$32,000	\$106,802										\$41,753												
6	Roofs, Metal	80	80	Squares	2044	to 25	2019	21	\$1,200.00	\$96,000	\$96,000	\$178,588																						
7	Security System	1	1	Allowance	2026	5 to 10	2019	3	\$11,000.00	\$11,000	\$11,000	\$67,345				\$12,020																		
8	Split Systems	5	5	Each	2029	10 to 15	2019	6	\$5,500.00	\$27,500	\$27,500	\$136,272							\$32,836															
9	Windows and Doors, Partial	1,370	1,160	Square Feet	2053	to 40	2019	30	\$60.00	\$69,600	\$82,200	\$168,937																						
Blossom Bayou Pool Components																																		
10	Deck, Concrete Coatings	11,790	11,790	Square Feet	2024	3 to 5	2019	1	\$3.00	\$35,370	\$35,370	\$326,461		\$36,431								\$42,234												
11	Fences, Aluminum, Blossom Bayou	440	440	Linear Feet	2044	to 25	2019	21	\$30.00	\$13,200	\$13,200	\$24,556																						
12	Fences, Vinyl	780	780	Linear Feet	2024	20 to 25	2019	1	\$30.00	\$23,400	\$23,400	\$74,566		\$24,102																				
13	Light Poles, Blossom Bayou	8	8	Each	2044	to 25	2019	21	\$2,100.00	\$16,800	\$16,800	\$31,253																						
14	Pool Finishes, Blossom Bayou	4,150	4,150	Square Feet	2029	10 to 15	2019	6	\$18.00	\$74,700	\$74,700	\$370,165							\$89,196															
15	Water Features	2	2	Each	2034	to 15	2019	11	\$9,500.00	\$19,000	\$19,000	\$67,276																						
Dorothy Duke Clubhouse Components																																		
16	Furniture, Phased	1	1	Allowance	2024	to 20	Varies	1	\$5,000.00	\$5,000	\$5,000	\$37,878		\$5,150								\$6,149												
17	Interior Renovation, Complete, Dorothy Duke	3,300	3,300	Square Feet	2039	to 30	2006	16	\$14.00	\$46,200	\$46,200	\$74,137																						
18	Interior Renovation, Partial, Dorothy Duke	3,300	3,300	Square Feet	2024	10 to 15	2006	1	\$7.00	\$23,100	\$23,100	\$23,793		\$23,793																				
19	Rest Rooms, Renovations, Dorothy Duke	4	4	Each	2023	15 to 20	2006	0	\$6,000.00	\$24,000	\$24,000	\$64,858	\$24,000																					
20	Roofs, Metal, Dorothy Duke	75	75	Squares	2030	to 25	2006	7	\$1,200.00	\$90,000	\$90,000	\$110,689									\$110,689													
21	Split Systems, Dorothy Duke	4	4	Each	2033	10 to 15	2021	10	\$7,500.00	\$30,000	\$30,000	\$97,801																						
22	Walls, Vinyl Siding	700	700	Square Feet	2045	to 40	2006	22	\$10.00	\$7,000	\$7,000	\$13,413																						
23	Windows and Doors, Dorothy Duke	640	640	Square Feet	2045	to 40	2006	22	\$60.00	\$38,400	\$38,400	\$73,578																						
Dorothy Duke Pool Components																																		
24	Deck, Pavers, Dorothy Duke	5,815	5,815	Square Feet	2036	20 to 30	2006	13	\$7.00	\$40,705	\$40,705	\$59,777																						
25	Fences, Aluminum, Dorothy Duke	495	495	Linear Feet	2030	to 25	2006	7	\$30.00	\$14,850	\$14,850	\$18,264										\$18,264												
26	Light Poles, Dorothy Duke	4	4	Each	2030	to 25	2006	7	\$1,250.00	\$5,000	\$5,000	\$6,149										\$6,149												
27	Pool Finish, Dorothy Duke	1,900	1,900	Square Feet	2032	10 to 15	2022	9	\$25.00	\$47,500	\$47,500	\$257,205										\$61,977												
28	Water Feature	1	1	Each	2030	to 15	2006	7	\$9,500.00	\$9,500	\$9,500	\$29,887										\$11,684												
Peaceful Palm Components																																		
29	Deck, Pavers, Peaceful Palm Cabana	3,200	3,200	Square Feet	2041	20 to 30	2011	18	\$7.00	\$22,400	\$22,400	\$38,135																						
30	Fences, Aluminum, Peaceful Palm Cabana	730	730	Linear Feet	2036	to 25	2011	13	\$30.00	\$21,900	\$21,900	\$32,161																						



Reserve Expenditures
Bayou Pass Village
Property Owners' Association, Inc.

Line Item	Reserve Components	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Year 22	Year 23	Year 24	Year 25	Year 26	Year 27	Year 28	Year 29	Year 30
		2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053
Blossom Bayou Clubhouse Components																						
1	Exercise Equipment											\$23,479										
2	Interior Renovation, Complete											\$37,567										
3	Interior Renovations, Partial																					
4	Paint Finish Applications						\$20,254							\$24,909							\$30,635	
5	Rest Rooms, Renovations															\$65,049						
6	Roofs, Metal												\$178,588									
7	Security System	\$14,783							\$18,181							\$22,361						
8	Split Systems							\$44,129										\$59,306				
9	Windows and Doors, Partial																					\$168,937
Blossom Bayou Pool Components																						
10	Deck, Concrete Coatings		\$48,960					\$56,758					\$65,799					\$76,279				
11	Fences, Aluminum, Blossom Bayou												\$24,556									
12	Fences, Vinyl																	\$50,464				
13	Light Poles, Blossom Bayou												\$31,253									
14	Pool Finishes, Blossom Bayou							\$119,872										\$161,097				
15	Water Features		\$26,300															\$40,975				
Dorothy Duke Clubhouse Components																						
16	Furniture, Phased				\$7,343					\$8,768							\$10,469					
17	Interior Renovation, Complete, Dorothy Duke							\$74,137														
18	Interior Renovation, Partial, Dorothy Duke																					
19	Rest Rooms, Renovations, Dorothy Duke									\$40,858												
20	Roofs, Metal, Dorothy Duke																					
21	Split Systems, Dorothy Duke	\$40,317												\$57,483								
22	Walls, Vinyl Siding													\$13,413								
23	Windows and Doors, Dorothy Duke													\$73,578								
Dorothy Duke Pool Components																						
24	Deck, Pavers, Dorothy Duke				\$59,777																	
25	Fences, Aluminum, Dorothy Duke																					
26	Light Poles, Dorothy Duke																					
27	Pool Finish, Dorothy Duke										\$83,292											\$111,937
28	Water Feature													\$18,203								
Peaceful Palm Components																						
29	Deck, Pavers, Peaceful Palm Cabana									\$38,135												
30	Fences, Aluminum, Peaceful Palm Cabana				\$32,161																	



Reserve Expenditures

Bayou Pass Village
Property Owners' Association, Inc.

Projected Inflation Rate 3.0%

Line Item	Reserve Components	Total	Per Phase	Unit of Measurement	1st Year of Replacement	Useful Life Years	Age (Year)	Remaining Life Years	2023 Unit Cost	2023 Cost of Replacement	2023 Cost of Replacement	Total 30 Year Future Costs of Replacement	Fiscal Year 2023	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9
		Quantity	Quantity							per Phase	per Total			2024	2025	2026	2027	2028	2029	2030	2031	2032
31	Light Poles, Peaceful Palm Cabana	6	6	Each	2036	to 25	2011	13	\$1,500.00	\$9,000	\$9,000	\$13,217										
32	Pool Finish, Peaceful Palm Cabana	2,150	2,150	Square Feet	2024	10 to 15	2011	1	\$18.00	\$38,700	\$38,700	\$165,424		\$39,861								
33	Rest Rooms, Renovations, Peaceful Palm	1	1	Allowance	2026	15 to 20	2011	3	\$5,000.00	\$5,000	\$5,000	\$13,976				\$5,464						
34	Roof, Metal, Peaceful Palm Cabana	25	25	Squares	2036	to 25	2011	13	\$1,200.00	\$30,000	\$30,000	\$44,056										
35	Split System, Peaceful Palm	1	1	Each	2024	10 to 15	2010	1	\$5,000.00	\$5,000	\$5,000	\$22,962		\$5,150								
36	Windows and Doors, Peaceful Palm Cabana	160	160	Square Feet	2045	to 40	2011	22	\$60.00	\$9,600	\$9,600	\$18,395										
	Property Site Components									\$515,710	\$658,090	\$2,138,543										
37	Asphalt Pavement, Preservation	1	1	Allowance	2024	5 to 8	Varies	1	\$5,000.00	\$5,000	\$5,000	\$39,370		\$5,150					\$5,970			
38	Asphalt Pavement, Repaving, Blossom Bayou	1,940	1,940	Square Yards	2044	15 to 25	2019	21	\$18.00	\$34,920	\$34,920	\$64,961										
38.1	Asphalt Pavement, Repaving, Peaceful Palm	550	550	Square Yards	2036	15 to 25	2011	13	\$18.00	\$9,900	\$9,900	\$14,538										
39	Concrete Flatwork, Partial	11,390	570	Square Feet	2028	5 to 8	Varies	5	\$9.00	\$5,130	\$102,510	\$53,292						\$5,947				
40	Basketball Court, Color Coat	345	345	Square Yards	2026	4 to 6	2022	3	\$25.00	\$8,625	\$8,625	\$96,714				\$9,425				\$10,608		
41	Golf Cart	1	1	Each	2026	to 20	2006	3	\$7,000.00	\$7,000	\$7,000	\$21,464				\$7,649						
42	Irrigation System, Pump Stations, Phased	4	1	Each	2026	15 to 20	Varies	3	\$15,000.00	\$15,000	\$60,000	\$146,880				\$16,391					\$19,002	
43	Mailbox Stations	13	13	Each	2044	to 25	2019	21	\$3,000.00	\$39,000	\$39,000	\$72,551										
44	Paint Finishes, Exterior, Dorothy Duke/Peaceful Palm Buildings	7,300	7,300	Square Feet	2024	5 to 7	Varies	1	\$1.00	\$7,300	\$7,300	\$59,330		\$7,519								\$9,247
45	Pavers, Sealer Applications	14,715	14,715	Square Feet	2024	3 to 5	Varies	1	\$1.00	\$14,715	\$14,715	\$190,207		\$15,156				\$17,059				\$19,200
45.1	Pavers, Street, Replacement	1,560	1,560	Square Feet	2028	15 to 25	2006	5	\$7.00	\$10,920	\$10,920	\$36,916						\$12,659				
45.2	Pavers, Walkways, Replacement	4,140	4,140	Square Feet	2036	to 25	2011	13	\$7.00	\$28,980	\$28,980	\$42,558										
46	Perimeter Walls, Paint Finish Applications	7,080	7,080	Linear Feet	2024	5 to 7	Varies	1	\$9.00	\$63,720	\$63,720	\$517,878		\$65,632								\$80,719
47	Playground Equipment, Blossom Bayou	1	1	Allowance	2037	15 to 20	2019	14	\$75,000.00	\$75,000	\$75,000	\$113,444										
47.1	Playground Equipment, Dorothy Duke	1	1	Allowance	2026	15 to 20	2006	3	\$55,000.00	\$55,000	\$55,000	\$168,647				\$60,100						
47.2	Playground Equipment, Peaceful Palm Cabana	1	1	Allowance	2031	15 to 20	2011	8	\$55,000.00	\$55,000	\$55,000	\$195,508										\$69,672
48	Pond Fountain	1	1	Allowance	2025	10 to 15	Unknown	2	\$5,500.00	\$5,500	\$5,500	\$26,015			\$5,835							
49	Ponds, Erosion Control, Partial	1	1	Allowance	2024	to 15	Varies	1	\$60,000.00	\$60,000	\$60,000	\$158,082		\$61,800								
50	Signage, Phased	1	1	Allowance	2033	15 to 25	Varies	10	\$5,000.00	\$5,000	\$5,000	\$27,886										
51	Stormwater System, Partial	1	1	Allowance	2024	5 to 8	Varies	1	\$10,000.00	\$10,000	\$10,000	\$92,299		\$10,300					\$11,941			
	Total Expenditures									\$1,516,735	\$1,671,715	\$5,105,904	\$24,000	\$313,434	\$5,835	\$111,048	\$0	\$35,665	\$182,177	\$163,542	\$227,791	\$122,929



Reserve Expenditures

Bayou Pass Village
Property Owners' Association, Inc.

Line Item	Reserve Components	Year 10	Year 11	Year 12	Year 13	Year 14	Year 15	Year 16	Year 17	Year 18	Year 19	Year 20	Year 21	Year 22	Year 23	Year 24	Year 25	Year 26	Year 27	Year 28	Year 29	Year 30	
		2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	
31	Light Poles, Peaceful Palm Cabana				\$13,217																		
32	Pool Finish, Peaceful Palm Cabana		\$53,570										\$71,993										
33	Rest Rooms, Renovations, Peaceful Palm									\$8,512													
34	Roof, Metal, Peaceful Palm Cabana				\$44,056																		
35	Split System, Peaceful Palm				\$7,343													\$10,469					
36	Windows and Doors, Peaceful Palm Cabana													\$18,395									
	Property Site Components																						
37	Asphalt Pavement, Preservation					\$7,563								\$9,581						\$11,106			
38	Asphalt Pavement, Repaving, Blossom Bayou												\$64,961										
38.1	Asphalt Pavement, Repaving, Peaceful Palm				\$14,538																		
39	Concrete Flatwork, Partial	\$6,894					\$7,992					\$9,265					\$10,741						\$12,452
40	Basketball Court, Color Coat		\$11,939				\$13,437				\$15,124				\$17,022				\$19,159				
41	Golf Cart														\$13,815								
42	Irrigation System, Pump Stations, Phased				\$22,028					\$25,536					\$29,604						\$34,319		
43	Mailbox Stations												\$72,551										
44	Paint Finishes, Exterior, Dorothy Duke/Peaceful Palm Buildings						\$11,373							\$13,988									\$17,203
45	Pavers, Sealer Applications				\$21,609				\$24,322				\$27,374				\$30,810						\$34,677
45.1	Pavers, Street, Replacement																		\$24,256				
45.2	Pavers, Walkways, Replacement				\$42,558																		
46	Perimeter Walls, Paint Finish Applications						\$99,274							\$122,094									\$150,160
47	Playground Equipment, Blossom Bayou					\$113,444																	
47.1	Playground Equipment, Dorothy Duke														\$108,547								
47.2	Playground Equipment, Peaceful Palm Cabana																				\$125,836		
48	Pond Fountain					\$8,319												\$11,861					
49	Ponds, Erosion Control, Partial							\$96,282															
50	Signage, Phased	\$6,720										\$9,031											\$12,136
51	Stormwater System, Partial		\$13,842					\$16,047					\$18,603					\$21,566					
	Total Expenditures	\$68,714	\$154,612	\$0	\$264,630	\$129,326	\$152,330	\$407,226	\$42,503	\$113,042	\$107,183	\$79,342	\$555,679	\$351,643	\$168,988	\$87,410	\$62,489	\$421,549	\$54,522	\$160,155	\$344,612	\$193,526	



Cash Flow Funding Plan (Pooling Method)

Bayou Pass Village Property Owners' Association, Inc.

	FY	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038
Beginning of Year Reserves		\$296,541	\$373,537	\$174,309	\$279,803	\$286,448	\$407,641	\$500,205	\$452,535	\$425,668	\$337,448	\$355,242	\$431,684	\$428,523	\$584,079	\$483,971	\$520,564
Recommended Reserve Contributions		92,100	103,000	106,100	109,300	112,600	116,000	119,500	123,100	126,800	130,600	134,500	138,500	142,700	147,000	151,400	155,900
Anticipated Interest Earned	3.0%	8,896	11,206	5,229	8,394	8,593	12,229	15,006	13,576	12,770	10,123	10,657	12,951	12,856	17,522	14,519	15,617
Projected Expenditures		(24,000)	(313,434)	(5,835)	(111,048)	0	(35,665)	(182,177)	(163,542)	(227,791)	(122,929)	(68,714)	(154,612)	0	(264,630)	(129,326)	(152,330)
Projected Year End Reserves		373,537	174,309	279,803	286,448	407,641	500,205	452,535	425,668	337,448	355,242	431,684	428,523	584,079	483,971	520,564	539,751

		2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053
Beginning of Year Reserves		\$539,751	\$309,317	\$441,494	\$512,098	\$595,778	\$715,108	\$367,082	\$218,251	\$253,410	\$377,102	\$535,526	\$345,943	\$524,200	\$608,871	\$518,525
Recommended Reserve Contributions		160,600	165,400	170,400	175,500	180,800	186,200	191,800	197,600	203,500	209,600	215,900	222,400	229,100	236,000	243,100
Anticipated Interest Earned	3.0%	16,193	9,280	13,245	15,363	17,873	21,453	11,012	6,548	7,602	11,313	16,066	10,378	15,726	18,266	15,556
Projected Expenditures		(407,226)	(42,503)	(113,042)	(107,183)	(79,342)	(555,679)	(351,643)	(168,988)	(87,410)	(62,489)	(421,549)	(54,522)	(160,155)	(344,612)	(193,526)
Projected Year End Reserves		309,317	441,494	512,098	595,778	715,108	367,082	218,251	253,410	377,102	535,526	345,943	524,200	608,871	518,525	583,655

Notes:

- 1) FY 2023 Begins January 1, 2023 and Ends December 31, 2023
- 2) FY 2023 Beginning Reserve Balance and Remaining Contributions are as of January 1, 2023
- 3) Interest Earned is compounded on the Beginning Year Reserve Balance, the first year is a partial amount earned
- 4) Taxes on the interest earned are considered negligible

Blossom Bayou Clubhouse Components

1. Exercise Equipment

Bayou Pass Village maintains various pieces of strength training and cardio exercise equipment. Exercise equipment has a useful life of up to 15 years. The Association should budget for replacement of the equipment by 2031 and again by 2043. Bayou Pass should fund interim repairs through the operating budget.



Figure 1



Figure 2

2. Interior Renovation, Complete

The Association maintains approximately 3,200 square feet of interior finished area. The interior components comprise paint finishes, terrazzo floor coverings, appliances and furnishings, plumbing and electrical fixtures. The interior components are in good overall condition at an age of four years. The useful lives of these interior components vary. However, in order to maintain continuity, the Association should coordinate replacement of all these components every 25 years. Bayou Pass Village should budget for a complete renovation by 2043. The Association should maintain the floors through the operating budget.



Figure 1



Figure 2



Figure 3



Figure 4

3. Interior Renovations, Partial

A partial renovation includes paint finishes, carpet floor coverings and up to fifty percent (50%) of the furnishings and appliances. Bayou Pass Village should budget for a partial renovation by 2031 and every 12 years thereafter except when the complete renovation occurs.

4. Paint Finish Applications

The Association maintains approximately 13,000 square feet of stucco paint finishes located at Blossom Bayou amenity center. Periodic applications of a protective paint finish or waterproof coating is essential in order to maintain the appearance and integrity of the stucco. Stucco is water resistant but not waterproof. Over time, stucco becomes more permeable which leads to cracks and moisture intrusion if maintenance is deferred.

Comprehensive paint specifications define quality levels and the materials and methods required to achieve them. Construction specifications are written documents that describe the materials and workmanship required for a building project. The purpose is to create certainty in the project and outcome.

The paint finish performance is affected by proper product selection, application, and surface preparation. Coating integrity and useful life will be reduced because of improperly prepared surfaces. The selection and implementation of proper surface preparation ensures coating adhesion to the substrate and prolongs the useful life of the coating system.

The paint finishes are in fair overall condition at an age of four years. Paint finishes have a useful life from five- to seven-years. The first cycle typically has a lower useful life due to lower builder grade paint and absorption. Bayou Pass Village should budget for the next paint finish application by 2024 and every seven years thereafter. The Association should also plan for weatherizing the window sealants and any exterior penetrations as needed in conjunction with paint finish applications.



Figure 1 – Faded Paint at Maintenance Building



Figure 2 - Faded Paint at Maintenance Building

5. Rest Rooms, Renovations

There are four rest rooms within the Blossom Bayou clubhouse. The rest rooms comprise tile wall coverings plumbing fixtures partitions, cabinets, and countertops. These rest room components have a useful life from 15- to 20-years. Bayou Pass Village should budget for renovations of the rest rooms by 2032 and again by 2047.



Figure 1 – Clubhouse Rest Room

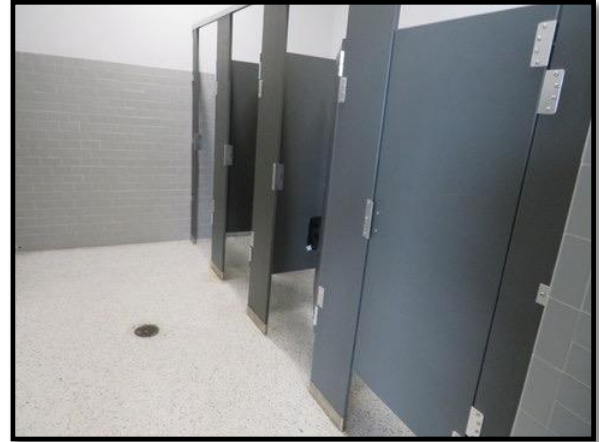


Figure 2 – Pool Rest Room

6. Roofs, Metal

There are approximately 80 squares of corrugated metal roofs located at the Blossom Bayou amenity center. This quantity includes the maintenance garage and pavilions. Corrugated roof panels are fastened by screws. The metal roofs are in good overall condition at an age of four years. Metal roofs of this type have a useful life of up to 25 years with the benefit of periodic maintenance. This maintenance includes sealing the exposed fasteners as needed. The Association should budget for replacement of the metal roofs by 2044.



Figure 1 – Maintenance Building



Figure 2 – Clubhouse Roof

7. Security System

The Association maintains a security system that comprises 10 cameras and a digital recording device. The security system is in fair overall condition at an age of four years. Technology advances

tend to govern the time of replacements. Security systems have a useful life from 5- to 10-years. Bayou Pass Village should budget for replacements by 2026 and every seven years thereafter.

8. Split Systems

The Blossom Bayou clubhouse utilizes five split systems for heating, ventilating and air conditioning. Two mini split systems were not operational at the time of inspection. Split systems have a useful life from 10- to 15-years. Bayou Pass Village should budget for replacements by 2029 and every 10 years thereafter.

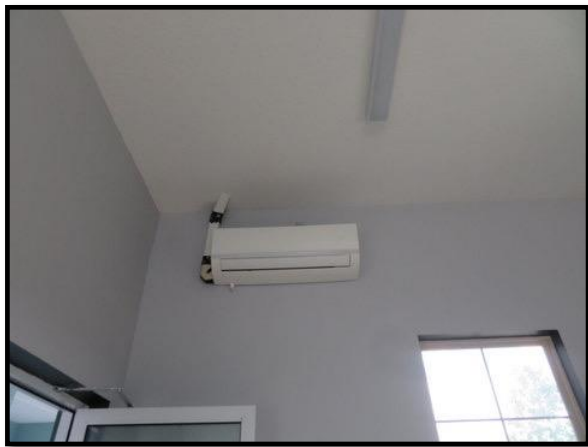


Figure 1 – Mini Split Air Handler



Figure 2 - Mini Split Condenser

9. Windows and Doors

The windows and doors of the Blossom Bayou clubhouse comprise 1,370 square feet. The windows and doors are in good condition at an age of four years. Windows and doors of this type have a useful life of up to 40 years. The need to replace windows can be due to various reasons such as consistency in style and condition. Bayou Pass Village should budget for partial replacement of up to eighty-five percent (85%) of the windows and doors by 2053.

Blossom Bayou Pool Components

10. Deck, Concrete Coatings

The Blossom Bayou pool deck comprises approximately 11,790 square feet of concrete. Concrete pool decks have a long useful life with the benefit of periodic maintenance. Periodic maintenance includes a slip resistant coating application. Bayou Pass Village should budget for the next coating application in 2024 and every three- to five-years thereafter.



Figure 1



Figure 2

11. Fences, Aluminum

Approximately 440 linear feet of aluminum fence surrounds the Blossom Bayou pool area. These fences are in good condition at an age of four years. The finish on aluminum fences is relatively maintenance free. Aluminum fences have a useful life of up to 25 years. The Association can maximize the useful life of the fences by keeping vegetation out of close proximity to the fences as well as repair connections and fasteners promptly when and if they fail. These activities should be funded through the operating budget on an as needed basis. Bayou Pass Village should budget for aluminum fence replacements by 2044.

12. Fences, Vinyl

There are also approximately 780 linear feet of vinyl fence surrounds the Blossom Bayou pool area. As vinyl ages it becomes brittle and susceptible to damage. The useful life of vinyl fences is from 20- to 25-years. However, the Board reports that Bayou Pass Village plans to replace the vinyl fences in the near term due to vandalism.

13. Light Poles

The Association maintains eight light poles and fixtures located around the Blossom Bayou amenity center. Light poles have a useful life of up to 25 years. Bayou Pass Village should budget for replacements by 2044. Our cost includes an allowance for replacement of the pole, base, fixture and minor electrical repairs at the time of replacement. Interim replacement of light bulbs and/or fixtures should be funded through the operating budget on an as needed basis.



Figure 1 – Typical Light Pole and Fixture

14. Pool Finishes

The Blossom Bayous pool comprises approximately 4,150 square feet of horizontal pool finishes. The pool finish is in fair overall condition at an age of four years. The pool finish has a useful life from 10- to 15-years. Bayou Pass Village should budget for resurfacing of the pool finish by 2029 and every 10 years thereafter. Typically minor upgrades will be needed to bring the pool up to current code.



Figure 1



Figure 2

15. Water Features

The pool area utilizes two water features. The water features are in good condition at an age of four years. The water features have an estimated useful life of up to 15 years. Bayou Pass Village should budget for replacements by 2034 and again by 2049.



Figure 1



Figure 2

Dorothy Duke Clubhouse Components



Figure 1 – Clubhouse Rear Elevation



Figure 2 – Clubhouse Rear Elevation

16. Furniture

The Dorothy Duke clubhouse includes a fair amount of furniture. The furniture is in fair overall condition at various ages. The useful lives of these components vary up to 20 years. Bayou Pass Village should budget for phased replacements of up to thirty-three percent (33%) every six years beginning in 2024.



Figure 1



Figure 2

17. Interior Renovation, Complete

The Dorothy Duke clubhouse comprises 3,300 square feet of interior finished area. The interior components comprise paint finishes, vinyl floor coverings, appliances and furnishings, plumbing and electrical fixtures. The interior components are in fair overall condition. The useful lives of these interior components vary. However, in order to maintain continuity, the Association should coordinate replacement of all these components every 30 years. Bayou Pass Village should budget for a partial renovation followed by a complete renovation by 2039.



Figure 1



Figure 2

18. Interior Renovations, Partial

A partial renovation includes paint finishes, floor coverings, appliances and electrical fixtures as needed. Bayou Pass Village should budget for a partial renovation in 2024 and every 10- to 15-years thereafter except when a complete renovation occurs.



Figure 1



Figure 2

19. Rest Rooms, Renovations

There are four rest rooms located within the Dorothy Duke clubhouse. The rest rooms comprise plumbing fixtures, partitions, cabinets, and countertops. The rest rooms are mostly original and in fair condition overall. These rest room components have a useful life from 15- to 20-years. Bayou Pass Village should budget for renovations of the rest rooms in 2023 and again by 2041. The Association should comply with the Americans with Disabilities Act (ADA).



Figure 1



Figure 2

20. Roofs, Metal

There are approximately 75 squares of corrugated metal roofing located atop the Dorothy Duke clubhouse and playground pavilion. Roof panels are fastened by screws. The metal roofs are original and in fair overall condition. As previously mentioned, metal roofs of this type have a

useful life of up to 25 years with the benefit of sealing the exposed fasteners periodically. The Association should budget for replacement of the metal roofs by 2030.



Figure 1 – Clubhouse Roof



Figure 2 – Playground Pavilion Roof

21. Split Systems

The clubhouse utilizes four split systems for heating, ventilating and air conditioning. The split systems are in good condition at an age of two years. As previously mentioned, split systems have an estimated useful life from 10- to 15-years. Bayou Pass Village should budget for replacements by 2033 and again by 2045.



Figure 1 – Split System Condensing Units



Figure 2 - Split System Air Handling Units

22. Walls, Vinyl Siding

The Dorothy Duke clubhouse includes approximately 700 square feet of vinyl siding. The vinyl siding is original and in fair overall condition. Vinyl siding has a useful life of up to 40 years. Bayou Pass Village should budget for replacement of the vinyl siding by 2045.

23. Windows and Doors

The windows and doors of the Dorothy Duke clubhouse comprise 640 square feet. The windows and doors are original and in fair overall condition. As previously mentioned, windows and doors have a useful life of up to 40 years. There will be a cost savings with coordinated replacement. Bayou Pass Village should budget for replacement of the windows and doors by 2045.



Figure 1 – Window



Figure 2 - Doors

Dorothy Duke Pool Components

24. Deck, Pavers

The Dorothy Duke pool deck comprises 5,815 square feet of pavers. The pavers are original and in good overall condition. Pool deck pavers have a useful life from 20- to 30-years with the benefit of periodic maintenance. See Line Item 40 “**Pavers, Sealer Applications**” for this maintenance recommendation. Bayou Pass Village should budget for replacement of the pavers by 2036.



Figure 1



Figure 2

25. Fences, Aluminum

Approximately 495 linear feet of aluminum fence surrounds the Dorothy Duke pool area and playground. These fences are original and in fair overall condition. As previously mentioned, the finish on aluminum fences is relatively maintenance free and they have a useful life of up to 25 years. Bayou Pass Village should budget for replacement of the aluminum fences by 2030.



Figure 1 – Fencing



Figure 2 – Light Pole

26. Light Poles

The Association maintains the decorative light poles and fixtures located around the pool area. Bayou Pass Village should budget for replacement of these light poles and fixtures by 2030. Our cost includes an allowance for replacement of the pole, base, fixture and minor electrical repairs at the time of replacement. Interim replacement of light bulbs and/or fixtures should be funded through the operating budget on an as needed basis.

27. Pool Finish

The Dorothy Duke pool comprises approximately 1,900 square feet of horizontal finish. This pool finish is in fair overall condition at an age of one year. The pool finish has a useful life from 10- to 15-years. Based on the warranty, Bayou Pass Village should budget for resurfacing of the pool finish by 2032 and every 10 years thereafter. Potential repairs to the underlying pool structure may raise the estimate of cost.



Figure 1



Figure 2

28. Water Feature

The pool area utilizes a water feature. The water feature is mostly original and in good condition overall. The Board reports that the Association painted this water feature since the last 2020 Reserve Study Update. Based on the condition, Bayou Pass Village should budget for replacement by 2030 and again by 2045.



Figure 1

Peaceful Palm Components



Figure 1 – Cabana Front Elevation



Figure 2 - Cabana Rear Elevation

29. Deck, Pavers

The pool deck comprises 3,200 square feet of pavers. The pavers are original and in fair to good overall condition. As previously mentioned, pool deck pavers have a useful life from 20- to 30-years with the benefit of periodic maintenance. See Line Item 40 “**Pavers, Sealer Applications**” for this maintenance recommendation. Bayou Pass Village should budget for replacement of the pavers by 2041.

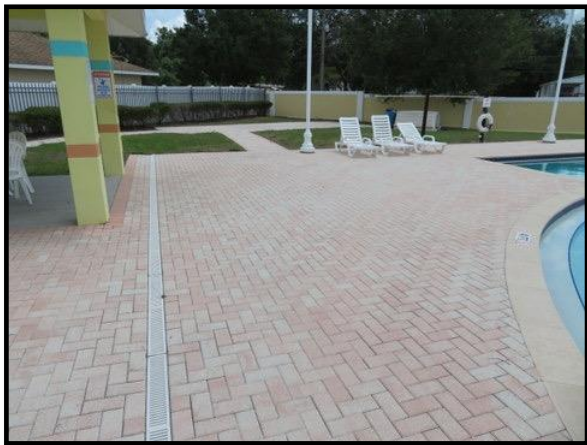


Figure 1



Figure 2

30. Fences, Aluminum

There are approximately 730 linear feet of aluminum fence that surrounds the Peaceful Palm amenity center. This fence is in fair overall condition at an age of 12 years. Bayou Pass Village should budget for replacement of this fence by 2036.



Figure 1



Figure 2

31. Light Poles

There are six light poles and fixtures located at the Peaceful Palm pool area. The light poles and fixtures are original and in fair to good condition overall. The Association should budget for replacement of these light poles and fixtures by 2036.



Figure 1

32. Pool Finish

The Peaceful Palm pool finish comprises approximately 2,150 square feet. This pool finish is in fair overall condition at an age of 12 years. As previously mentioned, pool finishes have a useful life from 10- to 15-years. Bayou Pass Village should budget for resurfacing of the pool finish in 2024 and every 10 years thereafter. Typically, minor upgrades will be needed to bring the pool up to current code. The Association should ensure that bidding contractors have an active license with a

“CPC” designation. An allowance for replacement of the waterline tile is included in the estimate of cost. Potential repairs to the underlying pool structure may raise the estimate of cost.



Figure 1

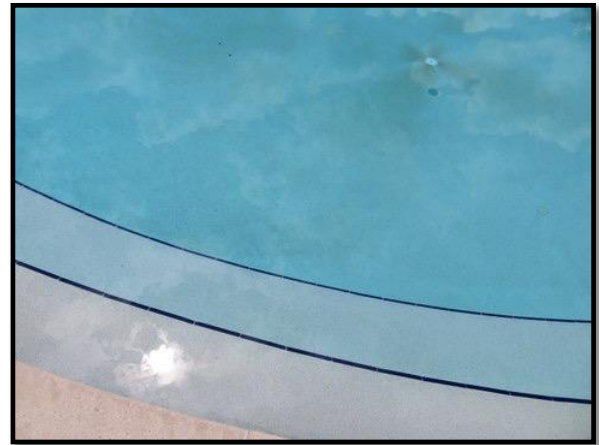


Figure 2

33. Rest Rooms, Renovations

There are two rest rooms located within the Peaceful Palm cabana. The rest rooms comprise plumbing fixtures. The rest rooms are mostly original and in fair condition overall. These rest room components have a useful life from 15- to 20-years. Bayou Pass Village should budget for renovations of these rest rooms by 2026 and again by 2041.

34. Roof, Metal

There are approximately 25 squares of corrugated metal roofing located atop the Peaceful Palm cabana. This metal roof is original and in fair to good overall condition. The Association should budget for replacement of the cabana roof by 2036.

35. Split System

The cabana utilizes a split system for heating, ventilating and air conditioning. The split system was operational at the time of the site visit. As previously mentioned, split systems have an estimated useful life from 10- to 15-years. Bayou Pass Village should budget for replacement of the cabana split system in 2024 and every 12 years thereafter.



Figure 1 – Split System Condensing Unit



Figure 2 - Split System Air Handling Unit

36. Windows and Doors

The windows and doors of the cabana comprise 160 square feet. The windows and doors are original and in fair overall condition. Bayou Pass Village should budget for replacement of the windows and doors by 2045.



Figure 1

Property Site Components

37. Asphalt Pavement, Preservation

The asphalt pavement is original and in good to fair overall condition. Areas of cracks are noted. The Association should repair any isolated areas of deteriorated pavement prior to asphalt coating applications.

Pavement surfaces comprise aggregate in an asphalt/petroleum binder. The petroleum elements of the binder oxidize and the asphalt loses its elastic properties over time and becomes brittle and then cracks occur. One form of pavement maintenance is a process called rejuvenation. Rejuvenation is intended to prolong the aging process by adding back the petroleum fractions needed for elasticity of the surface course.

Proposals for asphalt coating applications should include both crack seal repair and area patching. These activities reduce water infiltration and the effects of weather. The contractor should only apply asphalt coating applications after crack and surface repairs are completed.

The asphalt coating has a useful life of five- to eight-years. Bayou Pass Village should plan for an application of pavement preservation in 2024. Subsequent cycles are likely every five - to eight-years thereafter except when replacement occurs.



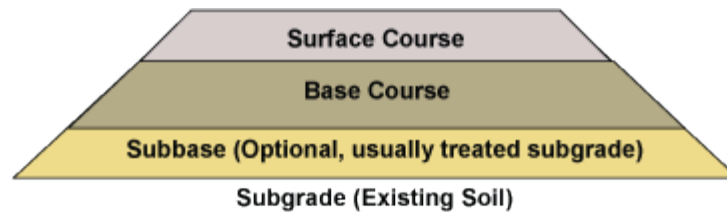
Figure 1 – Blossom Bayou Parking Area



Figure 2 – Peaceful Palm Parking Area

38. Asphalt Pavement, Repaving

The Blossom Bayou parking area comprises approximately 1,940 square yards of asphalt pavement. The Association also maintains approximately 550 square yards of asphalt parking area located at Peaceful Palm. The asphalt pavement is original and in good to fair condition. Asphalt pavement comprises multiple layers. Typically the top layer or surface course deteriorates over time and can be milled or removed and overlaid or replaced. The following diagram depicts typical pavement layers.



A mill and overlay is a method of repaving of the surface course where cracked, worn and failed pavement is mechanically removed or milled. A new layer of asphalt is overlaid atop the remaining sound pavement. Milled pavement removes part of the existing pavement and permits the overlay to match the elevation of areas such as adjacent catch basins, curbs and gutters. The milled pavement should be properly bonded to the new overlayment. Overlayment thicknesses range from one to two inches. Variable thicknesses are often necessary for proper drainage.

A combination of area patching, crack repair and milling should occur before the overlayment. Areas that exhibit potholes, alligator cracks and areas of pavement that are deteriorated from vehicle fluids should all be repaired prior to overlayment. Area patching may require total replacement of isolated areas of pavement. The base course for residential subdivision roadways designed for light traffic is often six inches thick. The paving contractor should seal all cracks. Crack repair minimizes the chance of underlying cracks coming through the overlayment.

The useful life of the asphalt pavement surface course is from 15- to 25-years. The Association should budget for a mill and overlay of the Peaceful Palm pavement by 2036 and Blossom Bayou pavement by 2044.

39. Concrete Flatwork

The Association maintains approximately 11,390 square feet of concrete flatwork. This quantity includes the sidewalks and basketball court. The concrete flatwork is in good overall condition. Concrete is durable and this application has a useful life of up to 65 years. However, it will eventually deteriorate from natural weathering. It is also common for displacement to occur as surrounding trees mature leading to problematic root systems. Proper mix designs and installation are also factors that can lead to premature deterioration. Bayou Pass Village should budget for up to five percent (5%) of the concrete flatwork every five years beginning by 2028. The Association

should conduct annual inspections of the concrete flatwork to identify potential trip hazards. The estimate of costs are based on 3,000 psi (pounds per square inch) concrete with reinforcing. The costs noted in the expense spreadsheet Appendix A also include removal. In addition, the Association should fund interim grinding of the minor areas of settlement and or displacement through the operating budget as needed. Keeping the trees trimmed will minimize the amount of repairs needed.



Figure 1



Figure 2

40. Basketball Court, Color Coat

The Association maintains a basketball court that comprise 345 square yards of surface area. The court requires repairs and a color coat application every four- to six-years to maintain the playing surface. The color coat is in good overall condition at an age of one year. Bayou Pass Village should budget for color coat applications by 2026 and every four years thereafter.



Figure 1

41. Golf Cart

Bayou Pass Village maintains a golf cart. The golf cart is mostly original to the community and in fair reported condition. The golf cart has an estimated useful life of up to 20 years based on its usage. The Association should budget for its replacement by 2026 and again. By 2046.



Figure 1

42. Irrigation System, Pump Stations

An irrigation system waters the common grounds. Irrigation system components typically include pumps, clocks, valves, heads and piping. The system is in satisfactory operation condition and has a long useful life with the benefit of ongoing maintenance. The Association should fund interim head and controller replacements through the operating budget as needed.

CustomReserves

The irrigation system is served by four pump stations. The pump stations vary in age. The pump stations have a useful life from 15- to 20-years. Bayou Pass Village should fund for phased replacements of the pump stations beginning by 2026 and every five years thereafter. The Association should fund motor replacements and pump rebuilding through the operating budget as needed.



Figure 1 – Phase 4 Pump Station

43. Mailbox Stations

Bayou Pass Village maintains 13 mailbox stations located in Phases 5 and 6. The mailboxes are in good condition at an age of approximately three years. Metal mailboxes have a useful life of up to 25 years. The Association should budget for replacements by 2044.



Figure 1 – Phase 5 Mailboxes



Figure 2 – Phase 6 Mailboxes

44. Paint Finishes, Exterior, Dorothy Duke/Peaceful Palm Buildings

The Dorothy Duke clubhouse and Peaceful Palm cabana exteriors comprises approximately 7,300 square feet of stucco paint finishes. These paint finishes are original and in fair overall condition. As previously mentioned, paint finishes have a useful life from five- to seven-years. Bayou Pass Village should budget for this exterior paint finish application by 2024 and every seven years thereafter.

45. Pavers

There are approximately 1,500 square feet of street pavers located at Dorothy Duke Lane and 4,140 square feet of walkway pavers locate at Peaceful Palm amenity center. These pavers have a useful life from 15- to 25-years with the benefit of ongoing maintenance that includes pressure washing, an application of sand between the pavers and resetting as needed followed by sealer applications every three- to five-years. Bayou Pass Village should budget for this maintenance activity in 2024 and every four years thereafter.

The Association should fund for replacement of the street pavers by 2028 and again by 2050. Bayou Pass Village should also fund for replacement of the walkway pavers by 2036.



Figure 1 – Street Pavers



Figure 2 – Walkway Pavers

46. Perimeter Walls, Paint Finish Applications

The Association maintains approximately 7,080 linear feet of perimeter walls. The perimeter wall finish is in fair condition overall at various ages. Areas of cracks, faded, and chalky paint are noted. Perimeter walls have a long useful life with the benefit of periodic maintenance. Periodic maintenance includes crack repairs as needed followed by paint finish applications every five- to seven-years. Bayou Pass Village should budget for a paint finish application by 2024 and every seven years thereafter.



Figure 1 – Faded Paint



Figure 2 – Wall Crack

47. Playground Equipment

Bayou Pass Village maintains three sets of playground equipment. The playground equipment is mostly original and in fair to good condition overall. The Board reports that the Association repaired the Dorothy Duke and Peaceful Palm playgrounds since the last 2020 Reserve Study

Update. Playground equipment has a useful life of 15- to 20-years. The major concern with playground equipment is safety.

The Association should budget for replacement of the Blossom Bayou playground by 2037. Bayou Pass Village should also budget for replacement of the Dorothy Duke playground by 2026 and again by 2046. The Association should consult with a professional to ensure proper space between each apparatus and a proper landing area. Bayou Pass Village should also budget for replacement of the Peaceful Palm playground by 2031 and again by 2051.



Figure 1 – Blossom Bayou Playground



Figure 2 – Dorothy Duke Playground



Figure 3 – Dorothy Duke Playground Corrosion



Figure 4 - Peaceful Palm Playground

48. Pond Fountain

The Association maintains a pond fountain located at the Dorothy Duke pond. The pond fountain provides mostly aesthetic benefits and can increase the overall water quality of the pond.

The Board reports that the Association repaired the fountain since the last 2020 Reserve Study Update. We include an allowance for replacement of the pond fountain by 2025 and every 12 years thereafter.



Figure 1

49. Ponds, Erosion Control

The Association maintains 14 wet ponds. Wet ponds treat storm water runoff by utilizing sunlight and vegetation which breaks down, filters and cleanses pollutants. The system includes a series of pipes and drains throughout the property designed to carry storm water directly to the pond system for processing.

The pond shorelines comprise approximately 15,050 linear feet. The ponds are original and in good overall condition. Areas of shoreline erosion are noted. Shoreline erosion can be caused by a variety of natural factors including steep slopes, changes in water elevation and storm water runoff. Erosion can lead to partial dredging of the ponds particularly near the drainage inlet and outlet structures.

Waterbodies of this type should utilize mapping and bathymetry to develop an effective management strategy by knowing the exact surface area, depths, structural locations and sediment accumulation. A bathymetric and sedimentation survey should be conducted every three- to five-years.

State environmental officials urge a 10-foot buffer zone around ponds, where no pesticides, fertilizer, or other chemicals should be used, and native plants are left to flourish. That enables the plants to soak up nitrogen and phosphorus before too much flows to the lagoon or other fragile waters, where the two nutrients fuel fish-killing toxic algae blooms.

Any native plants along the pond's littoral shelf should be left in place. Horticulture experts say to choose native plants or if they're already there, let them grow. The right plant in the right place can out-compete problem species such as cattails and torpedo grass that can clog up ponds. Native plants also provide cover for fish and habitat for tiny organisms that small fish eat to colonize. The plant roots also help hold the pond's banks in place.

A retention system is designed to allow water to seep through soil into the shallow groundwater aquifer. A system can be constructed or it can be a natural depression. Grass stabilizes basin slopes and filters sediments. Retention systems are constructed so that stormwater percolates into the ground without direct discharge to natural surface water bodies.

Detention systems (ponds) are the most recognizable stormwater system. They are designed to allow material to settle and be absorbed. After a storm, water slowly drains from the pond through a pipe in the outflow structure. Part of the pond, known as the permanent pool, is always below the level of the drain structure. Constructed detention systems (ponds) are required to have aquatic plants around the perimeter to help filter sediment in stormwater runoff. The owner of the pond should refer to the permit for exact specifications.

After developers complete construction of permitted systems in residential areas, the permit and the legal responsibility for maintaining these systems are typically passed on to the association. It is then that the upkeep and maintenance of the system becomes the responsibility of the association, not the developers or the water management district. The association is responsible for labor and expenses for keeping the system functional. This responsibility applies to every homeowner and property owner in the neighborhood, even if they do not live adjacent to a detention or retention system, as everyone's stormwater flows into the system.

Bayou Pass Village should budget for erosion control of up to ten percent (10%) of the shorelines every 15 years beginning in 2024 based on the age and condition of the ponds.



Figure 1 – Phase 1 Pond Erosion



Figure 2 - Phase 2 Pond Erosion



Figure 3 – Phase 5 Pond Erosion



Figure 4 - Phase 5 Pond Erosion

50. Signage

The Association maintains monument signage located throughout the community. The Board reports that Bayou Pass Village is currently renovating the monument signage as needed. Entrance monuments contribute to the overall aesthetic appeal of the property. Renovations are based on the desire to update the perceived identity of the community. Therefore, the timing of renovations is discretionary. We recommend the Association budget for phased renovations of the entrance monuments by 2033 and every 10 years thereafter.



Figure 1 – Typical Monument Signage



Figure 2 – Phase 6 Monument Signage

51. Stormwater System

The stormwater system comprises catch basins that collect stormwater from the pavement. Stormwater systems are low maintenance and often overlooked. However, overlooking systems of this type leads to major problems. Over time, drains can become clogged with leaves and other debris. The Association should anticipate occasional displacement of storm water structures and the surrounding pavement from erosion as time goes on. Erosion causes settlement of curb inlets or catch basins. The catch basin can shift and need replacement if left unrepaired. The Association should plan to repair any displaced storm water structures and partial pipe replacements concurrently with surrounding pavement or curbs and gutters. The exact times and amount of capital repairs or replacements varies upon natural forces.

The overall reported condition of the stormwater structures is good. Stormwater systems have a long useful life with the benefit of ongoing maintenance. Achieving this useful life typically requires interim capital repairs or partial replacements. Maintenance of stormwater systems is required in every municipality as a condition for use of the land to prevent adverse impacts on adjoining properties. Bayou Pass Village should routinely keep drains clear every five- to eight-years beginning in 2024.



Figure 1 – Catch Basin



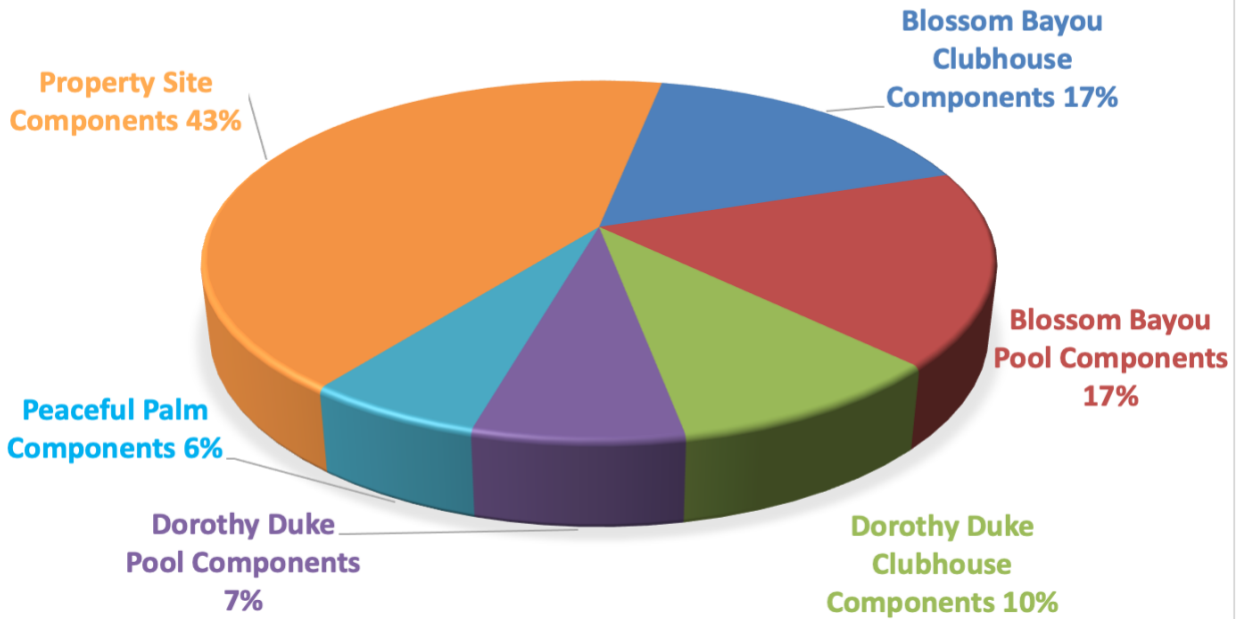
Figure 2 – Catch Basin

Condition Model

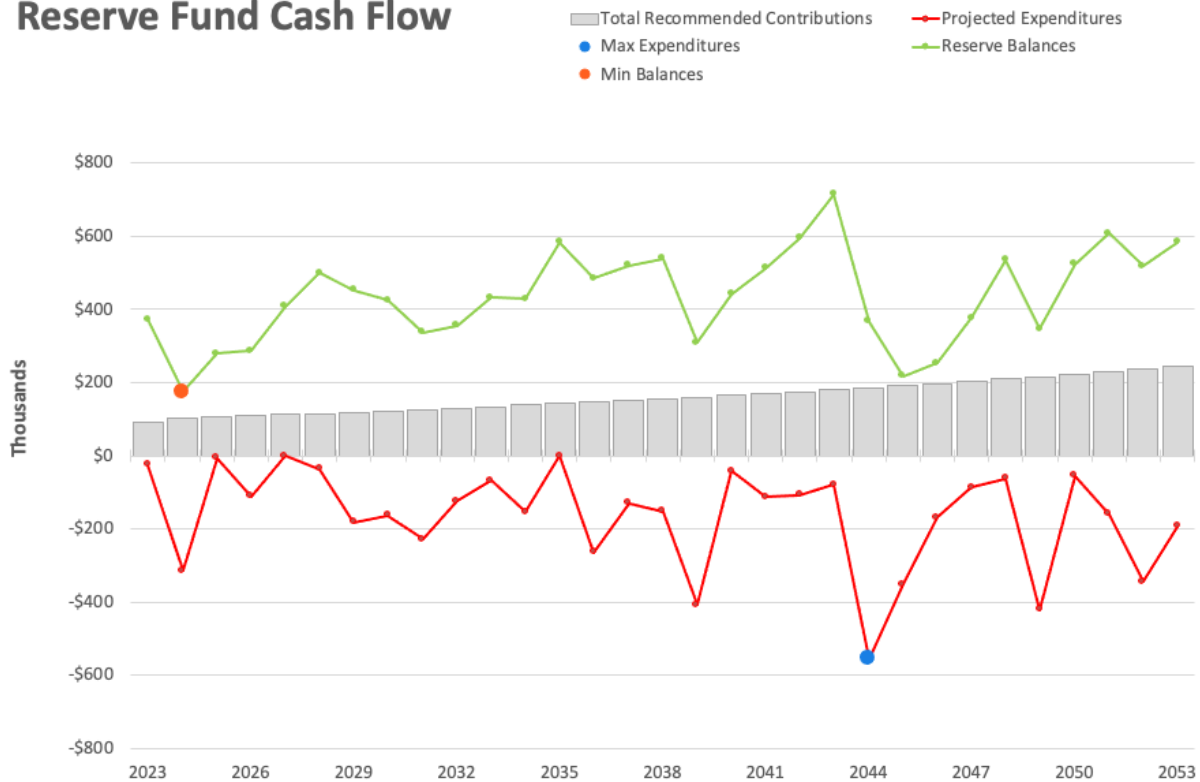
Component Type	Component Name	Condition	Urgency	1st Year of Replacement
Blossom Bayou Clubhouse	Exercise Equipment	7	✓	2031
Blossom Bayou Clubhouse	Interior Renovation, Complete	8	✓	2043
Blossom Bayou Clubhouse	Interior Renovations, Partial	7	✓	2031
Blossom Bayou Clubhouse	Paint Finish Applications	2	⚠	2024
Blossom Bayou Clubhouse	Rest Rooms, Renovations	7	✓	2032
Blossom Bayou Clubhouse	Roofs, Metal	8	✓	2044
Blossom Bayou Clubhouse	Security System	5	⚠	2026
Blossom Bayou Clubhouse	Split Systems	7	✓	2029
Blossom Bayou Clubhouse	Windows and Doors, Partial	9	✓	2053
Blossom Bayou Pool	Deck, Concrete Coatings	2	✗	2024
Blossom Bayou Pool	Fences, Aluminum, Blossom Bayou	8	✓	2044
Blossom Bayou Pool	Fences, Vinyl	6	⚠	2024
Blossom Bayou Pool	Light Poles, Blossom Bayou	8	✓	2044
Blossom Bayou Pool	Pool Finishes, Blossom Bayou	6	✓	2029
Blossom Bayou Pool	Water Features	7	✓	2034
Dorothy Duke Clubhouse	Furniture, Phased	6	✓	2024
Dorothy Duke Clubhouse	Interior Renovation, Complete, Dorothy Duke	7	✓	2039
Dorothy Duke Clubhouse	Interior Renovation, Partial, Dorothy Duke	6	✓	2024
Dorothy Duke Clubhouse	Rest Rooms, Renovations, Dorothy Duke	3	⚠	2023
Dorothy Duke Clubhouse	Roofs, Metal, Dorothy Duke	6	✓	2030
Dorothy Duke Clubhouse	Split Systems, Dorothy Duke	9	✓	2033
Dorothy Duke Clubhouse	Walls, Vinyl Siding	6	✓	2045
Dorothy Duke Clubhouse	Windows and Doors, Dorothy Duke	6	✓	2045
Dorothy Duke Pool	Deck, Pavers, Dorothy Duke	7	✓	2036
Dorothy Duke Pool	Fences, Aluminum, Dorothy Duke	6	✓	2030
Dorothy Duke Pool	Light Poles, Dorothy Duke	6	✓	2030
Dorothy Duke Pool	Pool Finish, Dorothy Duke	8	✓	2032
Dorothy Duke Pool	Water Feature	6	✓	2030
Peaceful Palm	Deck, Pavers, Peaceful Palm Cabana	7	✓	2041
Peaceful Palm	Fences, Aluminum, Peaceful Palm Cabana	6	✓	2036
Peaceful Palm	Light Poles, Peaceful Palm Cabana	6	✓	2036
Peaceful Palm	Pool Finish, Peaceful Palm Cabana	4	⚠	2024
Property Site	Rest Rooms, Renovations, Peaceful Palm	9	✓	2026
Peaceful Palm	Roof, Metal, Peaceful Palm Cabana	6	✓	2036
Property Site	Split System, Peaceful Palm	4	⚠	2024
Peaceful Palm	Windows and Doors, Peaceful Palm Cabana	7	✓	2045
Property Site	Asphalt Pavement, Preservation	6	⚠	2024
Property Site	Asphalt Pavement, Repaving, Blossom Bayou	8	✓	2044
Property Site	Asphalt Pavement, Repaving, Peaceful Palm	7	✓	2036
Property Site	Concrete Flatwork, Partial	8	✓	2028
Property Site	Basketball Court, Color Coat	9	✓	2026
Property Site	Golf Cart	4	⚠	2026
Property Site	Irrigation System, Pump Stations, Phased	7	✓	2026
Property Site	Mailbox Stations	8	✓	2044
Property Site	Paint Finishes, Exterior, Dorothy Duke/Peaceful Palm Buildings	4	⚠	2024
Property Site	Pavers, Sealer Applications	3	⚠	2024
Property Site	Pavers, Street, Replacement	4	⚠	2028
Property Site	Pavers, Walkways, Replacement	6	✓	2036
Property Site	Perimeter Walls, Paint Finish Applications	3	⚠	2024
Property Site	Playground Equipment, Blossom Bayou	8	✓	2037
Property Site	Playground Equipment, Dorothy Duke	4	⚠	2026
Property Site	Playground Equipment, Peaceful Palm Cabana	6	✓	2031
Property Site	Pond Fountain	4	✓	2025
Property Site	Ponds, Erosion Control, Partial	6	✗	2024
Property Site	Signage, Phased	6	✓	2033
Property Site	Stormwater System, Partial	7	⚠	2024

Expenditure Chart and Funding Graph

EXPENDITURES BY CATEGORY (YEARS 0 THROUGH 30)



Reserve Fund Cash Flow



Terms and Definitions

Cash Flow Method - A method of calculating Reserve contributions where contributions to the Reserve fund are designed to offset the variable annual expenditures from the Reserve fund. Different Reserve Funding Plans are tested against the anticipated schedule of Reserve expenditures until the desired Funding Goal is achieved.

Component - An individual line item in the Reserve Study developed or updated in the Physical Analysis. These elements form the building blocks of the Reserve Study. Components typically are: 1) Association responsibility, 2) with limited Useful Life expectancies, 3) predictable Remaining Useful Life expectancies, 4) above a minimum threshold cost, and 5) as required by local codes.

Component Assessment and Valuation - The task of estimating Useful Life, Remaining Useful Life, and Repair or Replacement Costs for the Reserve components. This task is accomplished either with or without onsite visual observations, based on Level of Service selected by the client.

Component Inventory - The task of selecting and quantifying Reserve Components. This task is accomplished through onsite visual observations, review of association design and organizational documents, and a review of established association precedents.

Component Method - A method of calculating Reserve contributions where the total reserve contribution is based on the sum of contributions for individual components.

Effective Age - The difference between Useful Life and Remaining Useful Life. Not always equivalent to chronological age, since some components age irregularly. Used primarily in computation.

Financial Analysis - The portion of a Reserve Study where current status of the Reserves (measured as cash or Percent Funded) and a recommended Reserve contribution rate (Reserve Funding Plan) are derived. The Financial Analysis is one of the two parts of a Reserve Study.

Fully Funded - 100% Funded. When the actual (or projected) Reserve balance is equal to the Fully Funded Balance.

Fully Funded Balance (FFB) - Total Accrued Depreciation. An indicator against which Actual (or projected) Reserve balance can be compared. In essence, it is the Reserve balance that is proportional to the current Repair/replacement cost and the fraction of life “used up”. This number is calculated for each component, then summed together for an association total. Two formulae can be utilized, depending on the provider’s sensitivity to interest and inflation effects. Note: both yield identical results when interest and inflation are equivalent.

Funding Goals - Independent of methodology utilized, the following represent the basic categories of Funding Plan goals.

Baseline Funding - Establishing a Reserve funding goal of keeping the Reserve cash balance above zero.

Fully Funding - Setting a Reserve funding goal of attaining and maintaining Reserves at or near 100% funded.

Statutory Funding - Establishing a Reserve funding goal of setting aside the specific minimum amount of Reserves required by local statutes.

Threshold Funding - Establishing a Reserve funding goal of keeping the Reserve balance above a specified dollar or Percent Funded amount. Depending on the threshold this may be more or less conservative than “Fully Funded”.

Funding Plan - An Association’s plan to provide income to a Reserve fund to offset anticipated expenditures from that fund.

Minimum Balance - A minimum Reserve balance established by the client.

Physical Analysis - The portion of the Reserve Study where the Component inventory, Condition Assessment and Life Adjustment and Valuation tasks are performed. This represents one of the two parts of the Reserve Study.

Remaining Useful Life (RUL) - Also referred to as “Remaining Life (RL). The estimated time, in years, that a reserve component can be expected to continue to serve its intended function. Replacements anticipated to occur in the initial or base year have “zero” Remaining Useful Life.

Reserve Assessments - The portion of assessments contributed to the Reserve Fund.

Reserve Balance - Actual or projected funds as of a particular point in time that the association has identified for use to defray the future repair or replacement of those major components which the association is obligated to maintain. Also known as Reserves, Reserve Accounts, Cash Reserves.

Special Assessment - An assessment levied on the members of an association in addition to regular assessments. Special Assessments are often regulated by Governing Documents or local statutes.

Straight-Line - A formula used to calculate the annual reserve fund contribution for a specific component. Projected replacement cost divided by the useful life equals the annual payment.

Useful Life (UL) - Total Useful Life or Depreciable Life. The estimated time, in years, that a reserve component can be expected to serve its intended function in its present application or installation.

Disclosures and Limitations

No destructive testing was performed. Latent defects in design or construction are excluded from this report. There are no material issues to our knowledge that have not been disclosed to the client that would affect the integrity of this Reserve Study report. Custom Reserves has no interests with the client other than this Reserve Study. The Reserve Specialist or other reserve study provider for this project has no familial or marital relationship with the client, no ownership interest in the client, and no ongoing business relationship with the client.

Clear recommendations appear within the reserve study where the association has been advised to retain outside expertise to supplement the evaluation of the Reserve Specialist.

Component quantities and estimates of costs indicated in this Report were developed by Custom Reserves unless otherwise noted in our “Condition Assessment” comments. The sources for the costs outlined in the study include experience, historical information and R.S. Means, Incorporated. This report should be used for budget and planning purposes only. The Reserve Specialist shall incur no civil liability for performing the physical or financial portions of a reserve study performed in accordance with these standards.

Inspection and Report Credentials

PAUL GRIFONI – Engineer, Licensed Home Inspector

EDUCATION - University of Massachusetts - Bachelor of Science in Engineering

PROFESSIONAL AFFILIATIONS / DESIGNATIONS

Professional Reserve Analyst (PRA)
Association of Professional Reserve Analysts

Reserve Specialist (RS)
Community Associations Institute

